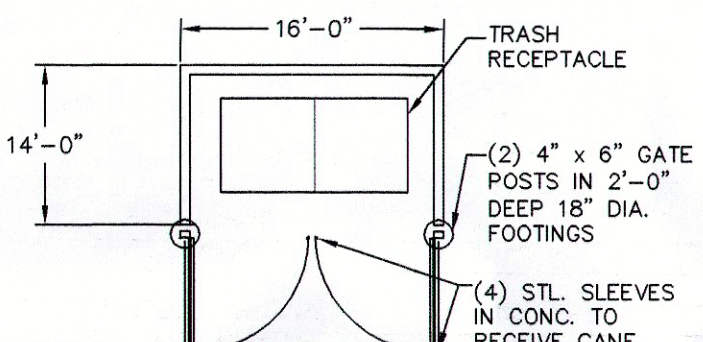


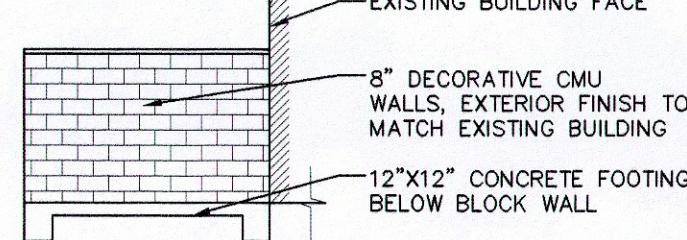
PROJECT INFORMATION:	
PARCEL OWNER:	250 LAKE STREET LLC, 250 LAKE STREET, NEWBURGH NY 12550
ENGINEER OF RECORD:	HUDSON LAND DESIGN P.C., 176 MAIN STREET, BEACON NY 12508
PARCEL LOCATION:	250 LAKE STREET, NEWBURGH NY
TAX PARCEL ID:	42-2-11 (C/O NEWBURGH) & 9-1-34 (T/O NEW WINDSOR)
PARCEL AREA:	412,071-SQ-FT
ZONING DISTRICT:	C-3 & PO-2 (C/O NEWBURGH); C (T/O NEW WINDSOR)
POTABLE WATER SUPPLY:	CITY WATER
SEWAGE DISPOSAL:	CITY SEWER

LEGEND:	
EXISTING PROPERTY LINE	---
EXISTING ADJOINING PROPERTY LINE	---
EXISTING EASEMENT LINE	---
EXISTING HYDRANT	⊕
EXISTING GATE VALVE	⊕
EXISTING CATCH BASIN	⊕
EXISTING CULVERT PIPE	—ST—
EXISTING UTILITY POLE	⊕
EXISTING LIGHT	⊕



TRASH ENCLOSURE PLAN  
NOT TO SCALE

TRASH ENCLOSURE ELEVATION (FRONT VIEW)  
NOT TO SCALE



TRASH ENCLOSURE ELEVATION (SIDE VIEW)  
NOT TO SCALE

SCHEDULE OF REGULATIONS C-3 ZONING DISTRICT (C/O NEWBURGH)		
PARAMETER	REQUIRED	PROVIDED
LOT AREA:	10,000 SQUARE FEET MIN	>142,000 SQUARE FEET
LOT WIDTH:	75 FEET MINIMUM	375 FEET
LOT DEPTH:	100 FEET MINIMUM	>100 FEET
YARD SETBACKS:		
FRONT YARD:	5 FEET MINIMUM	>118 FEET
SIDE YARD:	5 FEET MINIMUM	>0.8 FEET
REAR YARD:	10 FEET MINIMUM	>65 FEET
BUILDING HEIGHT:	3.5 STORIES/40 FEET MAX	<40 FEET
STREET FRONTAGE:	NA	NA
FLOOR AREA RATIO:	NA	NA

\*PRE-EXISTING NON-CONFORMING  
NOTE: PROFESSIONAL & BUSINESS OFFICE USE PERMITTED IN ZONE

SCHEDULE OF REGULATIONS PO-2 ZONING DISTRICT (C/O NEWBURGH)		
PARAMETER	REQUIRED	PROVIDED
LOT AREA:	40,000 SQUARE FEET MIN	>307,000 SQUARE FEET
LOT WIDTH:	100 FEET MINIMUM	NA
LOT DEPTH:	100 FEET MINIMUM	NA
YARD SETBACKS:		
FRONT YARD:	25 FEET MINIMUM	NA
SIDE YARD:	15 FEET MINIMUM	NA
REAR YARD:	25 FEET MINIMUM	NA
BUILDING HEIGHT:	2.5 STORIES/40 FEET MAX	NA
STREET FRONTAGE:	NA	NA
FLOOR AREA RATIO:	NA	NA

NOTE: OFF STREET PARKING ACCESSORY USE PERMITTED IN ZONE

SCHEDULE OF REGULATIONS C ZONING DISTRICT (T/O NEW WINDSOR)		
PARAMETER	REQUIRED	PROVIDED
LOT AREA:	10,000 SQUARE FEET MIN	>142,000 SQUARE FEET
LOT WIDTH:	75 FEET MINIMUM	375 FEET
LOT DEPTH:	100 FEET MINIMUM	>100 FEET
YARD SETBACKS:		
FRONT YARD:	5 FEET MINIMUM	>118 FEET
SIDE YARD:	5 FEET MINIMUM	>0.8 FEET
REAR YARD:	10 FEET MINIMUM	>65 FEET
BUILDING HEIGHT:	3.5 STORIES/40 FEET MAX	<40 FEET
STREET FRONTAGE:	NA	NA
FLOOR AREA RATIO:	NA	NA

\*PRE-EXISTING NON-CONFORMING

## 250 LAKE STREET SITE PLAN

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE CITY OF NEWBURGH, NEW YORK, ON THE

DAY OF \_\_\_\_\_, 20\_\_\_\_, SUBJECT TO ALL REQUIREMENTS AND  
CONDITIONS OF SAID RESOLUTION, ANY CHANGE, ERASURE, MODIFICATION OR REVISION OF THIS PLAN,  
AS APPROVED, SHALL VOID THIS APPROVAL.

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY \_\_\_\_\_

PLANNING BOARD CHAIRMAN

## MAP REFERENCE:

REFERENCE IS HEREBY MADE TO A MAP ENTITLED  
"ALTA ACORN LAND TITLE SURVEY OF LANDS OF  
NEWBURGH MIRON LUMBER CORP." PREPARED BY  
CHAZEN ENGINEERING & LAND SURVEYING CO.,  
P.C. DATED MARCH 21, 2003 (LAST REVISED  
5/7/03). ALL EXISTING FEATURES AS SHOWN ON  
THE PLAN WERE TAKEN FROM THE REFERENCED  
MAP AND VERIFIED BY SITE RECONNAISSANCE  
PERFORMED BY HUDSON LAND DESIGN, P.C.  
CATCH BASIN RW & INVERT INFORMATION BY TEC  
LAND SURVEYING.

## OWNER'S CONSENT:

THE UNDERSIGNED OWNER OF THE PROPERTY  
HEREON STATES THAT HE IS FAMILIAR WITH  
THIS MAP, ITS CONTENTS AND ITS LEGENDS  
AND HEREBY CONSENTS TO ALL SAID TERMS  
AND CONDITIONS AS STATED HEREON.

250 LAKE STREET PROPERTIES LLC DATE \_\_\_\_\_

## OWNER/APPLICANT:

250 LAKE STREET PROPERTIES, LLC  
250 LAKE STREET  
NEWBURGH, NY 12550

## LOT INFORMATION:

TAX ID: 42-2-11 (CITY OF NEWBURGH)  
LOT AREA: 410,341-SQ-FT  
TAX ID: 9-1-34 (TOWN OF NEW WINDSOR)  
LOT AREA: 41,730-SQ-FT

## SITE SPECIFIC NOTES:

1. THE SITE WAS PREVIOUSLY USED AS A RETAIL LUMBER AND SUPPLIES FACILITY. THE  
APPLICANT/OWNER IS PROPOSING TO USE THE SITE FOR OFFICE SPACE, STORAGE,  
WAREHOUSE, A GALLERY AREA, AND A CYCLE SAFETY SCHOOL. THIS IS A CHANGE OF  
USE AND REQUIRES SITE PLAN APPROVAL FROM THE CITY OF NEWBURGH.

2. NO NEW CONSTRUCTION IS PROPOSED. THE EXISTING BUILDING FOOTPRINT WILL NOT  
CHANGE. THE ONLY ITEMS PROPOSED ARE THE CYCLE SAFETY SCHOOL AREAS AND  
PARKING LOT STRIPING TO ACCOMMODATE THE PROPOSED USE OF THE SITE (SEE  
SEPARATE PARKING SCHEDULE FOR STRIPING REQUIREMENTS).

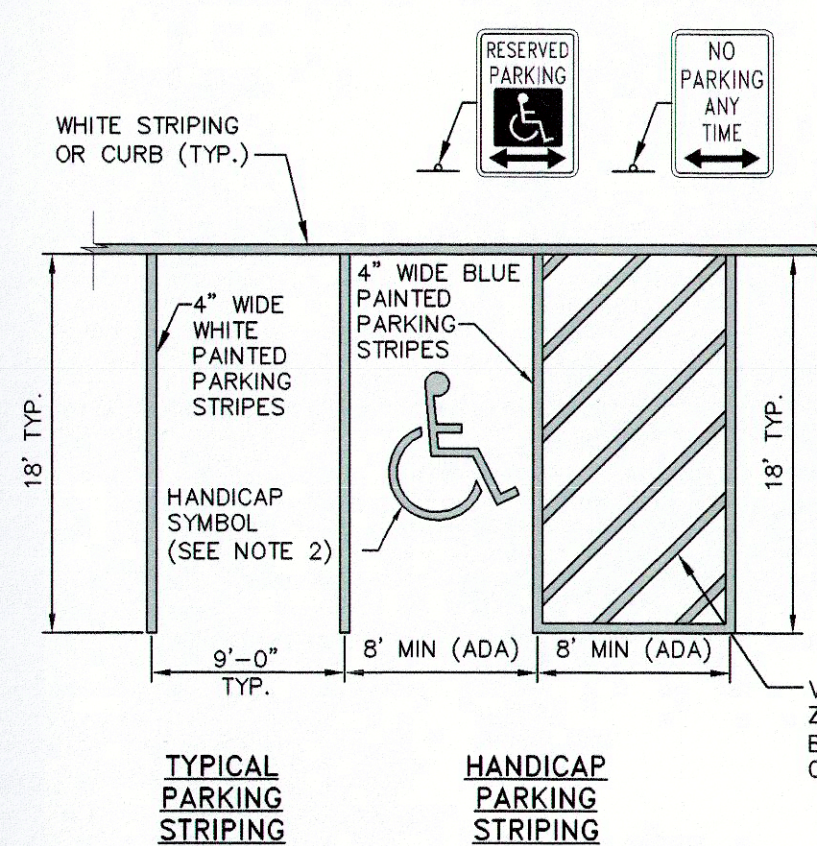
3. THERE SHALL BE NO PARKING OF DISMANTLED VEHICLES ON SITE OR OUTSIDE STORAGE  
OF MATERIALS. PARKING ON THE SITE SHALL ONLY OCCUR WHERE SPECIFICALLY SHOWN  
ON THIS SITE PLAN.

4. SHOULD THE NEW WINDSOR TAX PARCEL AND CITY OF NEWBURGH TAX PARCEL BECOME  
UNDER SEPARATE OWNERSHIP, PRIOR TO THE NEW WINDSOR PLANNING BOARD APPROVING  
A SEPARATE OR NEW USE FOR THE PARCEL IN NEW WINDSOR IT SHALL BE DEMONSTRATED  
(AND ACCEPTED BY THE CITY PLANNING BOARD) THAT ADEQUATE PARKING HAS BEEN  
PROVIDED FOR THE REMAINING SITE IN THE CITY OF NEWBURGH.

PARKING SCHEDULE (C/O NEWBURGH) FOR T/O NEW WINDSOR. SEE NOTE 1.		
BUILDING AREA	EXISTING SQUARE FEET	SPACE REQUIREMENT
OFFICE SPACE	15,000	1 PER 300 SF = 51
WAREHOUSE	25,000	1 PER 1,000 SF = 25
STORAGE	28,870	1 PER 1,000 SF = 29
GALLERY/SHOWROOM	15,660	1 PER 300 SF = 52
CYCLE SAFETY SCHOOL	±119,500	±25
TOTAL PROVIDED:		±184 SPACES
TOTAL REQUIRED:		±192 SPACES

\*17 HANDICAP SPACES AND 4 LOADING SPACES PROVIDED  
\*\*25 SPACES PROVIDED TO ACCOMMODATE MAXIMUM OF 20 STUDENTS

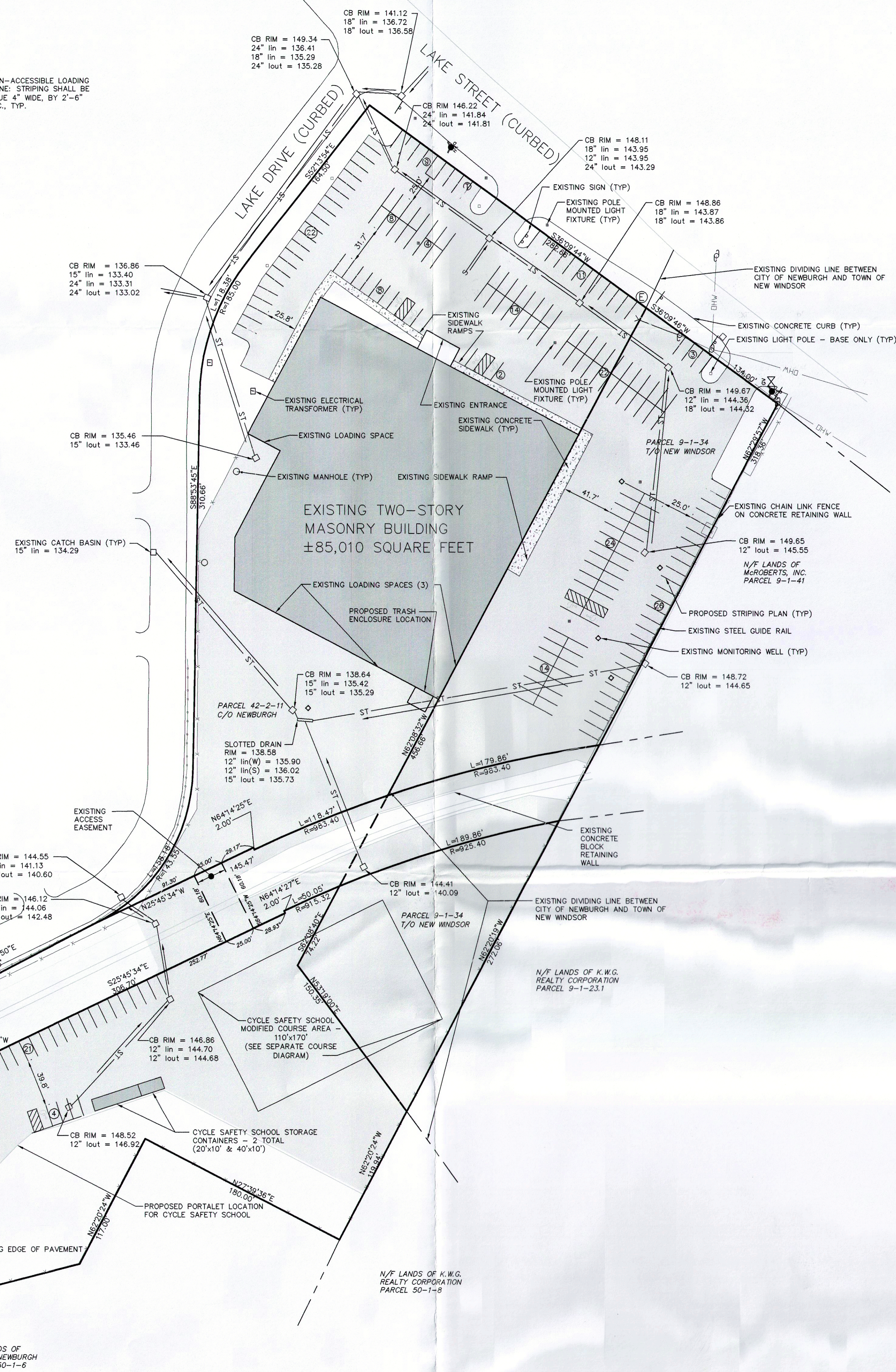
NOTE 1: T/O NEW WINDSOR PARKING REQUIREMENTS  
OFFICE SPACE: 1 PER 150 SF  
WAREHOUSE: 1 PER 1,000 SF  
STORAGE: 1 PER 1,000 SF  
GALLERY/SHOWROOM: 1 PER 300 SF  
CYCLE SAFETY SCHOOL: 1 PER STUDENT/EMPLOYEE



## NOTES:

1. ALL DIMENSIONS SUBJECT TO CURRENT MUNICIPALITY  
ZONING AND SITE REGULATIONS.
2. PAINTED HANDICAP SYMBOLS TO BE IN ACCORDANCE WITH  
ADA STANDARDS.
3. IF PARKING ADJUTS A SIDEWALK, THEN THE REGULATORY  
SIGNS SHALL BE PLACED BEHIND THE SIDEWALK.

PARKING AND STRIPING DETAIL  
NOT TO SCALE



## SITE PLAN DEPICTING EXISTING CONDITIONS AND PROPOSED STRIPING

## 250 LAKE STREET

LAKE STREET  
CITY OF NEWBURGH & TOWN OF NEW WINDSOR  
ORANGE COUNTY, NEW YORK  
TAX PARCELS 42-2-11 (C/O NEWBURGH) & 9-1-34 (T/O NEW WINDSOR)  
SCALE: 1" = 60'  
JUNE 30, 2010



DRAWN BY: JDB		CHECKED BY: DGK	JOB NO.: 2010-011
REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	8/20/10	REVISED PER CITY COMMENTS	MAB
2	9/22/10	REVISED PER TOWN COMMENTS	MAB
3	12/20/10	REVISED PER CITY & TOWN COMMENTS	MAB

HUDSON  
LAND DESIGN

HUDSON LAND DESIGN  
PROFESSIONAL ENGINEERING P.C.

176 MAIN STREET  
BEACON, NEW YORK 12508  
PH: 845-440-6928  
F: 845-440-6937

SHEET: 1 OF 1

RECEIVED DEC 2 2 2010

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